

# AITKEN TURNBULL

LAND NORTH EAST OF TWEED LODGE HOEBRIDGE, EAST ROAD - GATTONSIDE

**PLANNING**

Date 22/02/22

[www.aitken-turnbull.co.uk](http://www.aitken-turnbull.co.uk)

## CONTENTS

---

### **1.0 Introduction**

### **2.0 Planning Compliance**

- 2.1 Planning Policy
- 2.2 – 2.3 Placemaking and Design
- 2.4 Other Key Issues

### **3.0 Site Details**

- 3.1 Proposed Site Plan & Access
- 3.2 Existing Site Access
- 3.3 Proposed Development Site
- 3.4 Location & Local Context
- 3.4 Adjoining / Nearby Properties

### **4.0 Design Reference**

- 4.1 – 4.4 Residential Character
- 4.5 Visual Impact
- 4.6 Principles
- 4.7 Precedent
- 4.8 Strategy

### **5.0 Concept Design**

- 5.1 – 5.8 Visuals
- 5.9 – 5.12 Elevations
- 5.13 – 5.14 Sections

## 1.0 Introduction

This proposal is prepared on behalf of our clients Mr & Mrs Purdie to support the application for Planning. The Design & Access Statement refers to a residential development on the south sloping settlement of Gattonside. Enjoying views towards the Eildon Hills and hidden away behind the access road to the suspension footbridge crossing the River Tweed.

In considering this development it is essential to ensure that the building is well designed and will have a positive impact on the area taking cognisance of sustainability, scale, height, design and materials.

Whilst permission in principle was granted for the erection of one dwellinghouse, the applicant is now seeking a detailed planning approval for a contemporary and sustainable family home.

Section 2 sets out Planning Compliance in relation to relevant planning policies and guidance attached to the written response received as part of the pre-application enquiry.

**Section 3 outlines site detail and proposed site plan. Section 4 sets out references and design principles**  
**Section 5 provides design detail.**



Gattonside

● application site

## 2.0 Planning Compliance

## 2.1 Planning Compliance – Policy Principle

The principle of development of a single dwellinghouse at the application site was established via planning permission ref.19/01753/PPP, granted 18<sup>th</sup> March 2020.

This confirmed the Council's assessment of the site as suitable for residential development within the village of Gattonside with the extension of garden ground into an area outwith the settlement boundary being acceptable as it would not undermine planning policies.

The current proposal was the subject of a recent pre application query with a response from the council provided on 5<sup>th</sup> August 2021 (ref. 21/00469/PREAPP). In this respect, this confirmed that as the red line boundary had been amended from the previous PPP approval, a full planning application would be required rather than an Approval of Matters Specified in Conditions application.

The principle of development is also supported by the following key Local Development Plan policies.

- **Policy PMD5– Infill Development**

The proposal is supported as infill (built) development within the Gattonside development boundary. The proposal meets criteria in terms of, a) not conflicting with established adjoining residential uses,

b) does not detract from character and amenity of area as further detailed below, c) individual and cumulative effects of development can be sustained by social and economic infrastructure and does not create over-development, d) respects scale, form, design, materials and density in context of its surroundings as detailed further below, e) adequate access and servicing can be achieved, and, f) there will be no significant loss of daylight, sunlight or privacy to adjoining properties as detailed further within this statement.

- **Policy PMD4– Development outwith Development Boundaries, Policy EP6 – Countryside Around Towns, Policy EP10 – Protection of Prime Quality Agricultural Land**

As noted in the pre-application response, whilst the garden ground extends outwith the development boundary, the scale and nature of the land use does not undermine the above key LDP policies.

The pre-application evaluation also highlighted that the proposal presents an opportunity to reinforce the boundary by consolidating the existing arrangement of buildings and agricultural land in a more formal manner, tying in with the field boundary immediately to the north.

## 2.2 Planning Compliance – Placemaking and Design

The adopted Local Development Plan and supporting SPG sets out key policies in relation to the detailed design stage relevant to this site, which are assessed below.

- **Policy PMD2 – Quality Standards & Placemaking and Design SPG Section 5.2 (single House)**

**Sustainability;** Energy Efficiency measures will be achieved via highly insulated construction, triple glazing, use of air source heat pump and PV panels. Layout arrangements supporting and maximise solar gain. Orientation of glazing, thermal mass and distribution strategy has been implemented from the initial design stage to fully benefit from available passive solar gain. Sustainable drainage system and waste/recycling will be carefully considered to enable a futureproof solution. Landscaping include eco-friendly methods such as permeable surfaces, rainwater usages and planting that welcomes birds and pollinators. The design proposals consider adaptable strategies to respond to climate change and biodiversity. Landscape impact have been analysed and the proposed site plan in **Section 3** illustrates how the boundary treatment forms a successful arrangement. Proposals intend to soften the impact of the development.

**Placemaking & Design;** Sense of place is achieved through a distinctive contemporary design, as a continuation of other contemporary design approaches within the village of Gattonside - covered in Section 4 – (paying homage to the past development such as the house designed by modernist architect Peter Womersley).

Proposed Scale, massing, height and density reflects the context as evident in the character analysis of Section 4.

**Accessibility;** The proposal provides adequate access and turning space, including for waste collection, as detailed on the site layout.

**Green Space, Open Space & Biodiversity;** Provision for mitigation – additional planting proposed along the Eastern boundary, immersing the new development with the proposed landscape. Existing fencing and natural features will be retained. The adjoining residential amenity is protected via the positioning of the Build to minimise impact on views from the closest property – Detailed design including roof design helps reduce any impact.

## 2.3 Planning Compliance – Placemaking and Design

- **Policy PMD5 – Infill Development (Design)**

*b) does not detract from character and amenity of area*

The contemporary design proposal contributes positively to the local area, where contrasting styles are a feature of Gattonside, as referenced in Section 4.

*d) respects scale, form, design, materials and density in context of its surroundings*

As a starting point our site analysis identified the design layout appropriate for the site. Adopting building forms and composition, proportions, features, and materials/colours that both reflects and adds new character as described in Section 4.6.

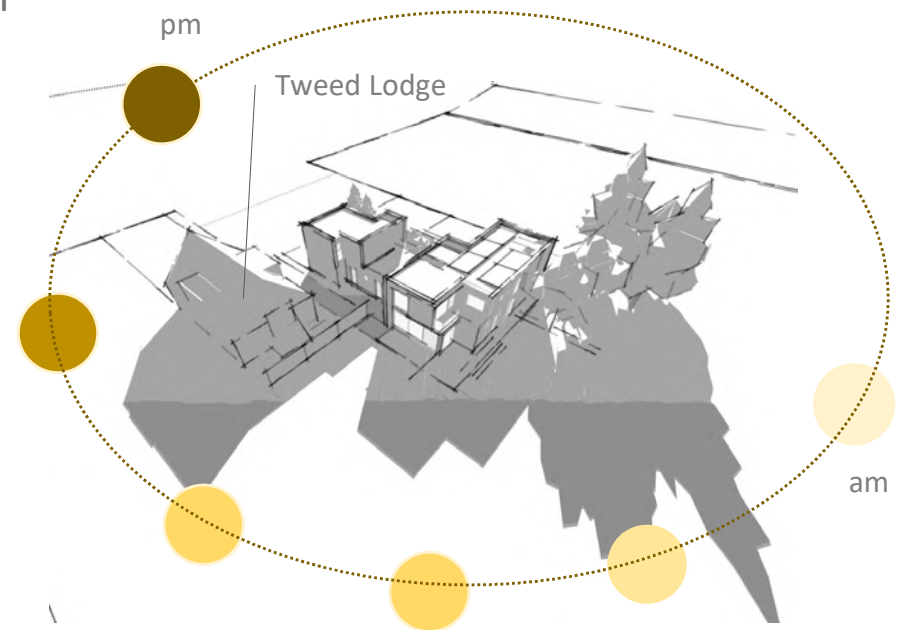
The design brief has been prepared to improve our client's quality of life by offering a site specific design approach - a well considered structural arrangement that will continue the development of social, economic and environmental wellbeing in this area.

*f) there will be no significant loss of daylight, sunlight or privacy to adjoining properties*

diverse design solution – referred in Section 3.3

- **Policy EP4 – National Scenic Areas & Policy EP9 – Conservation Areas**

The proposal for a single dwellinghouse is not of scale that will impact on the wider scenic area designation. The contemporary design will contribute positively to visual amenity within the existing village boundary and to the Conservation Area, which already comprises a range of contemporary styles and forms.



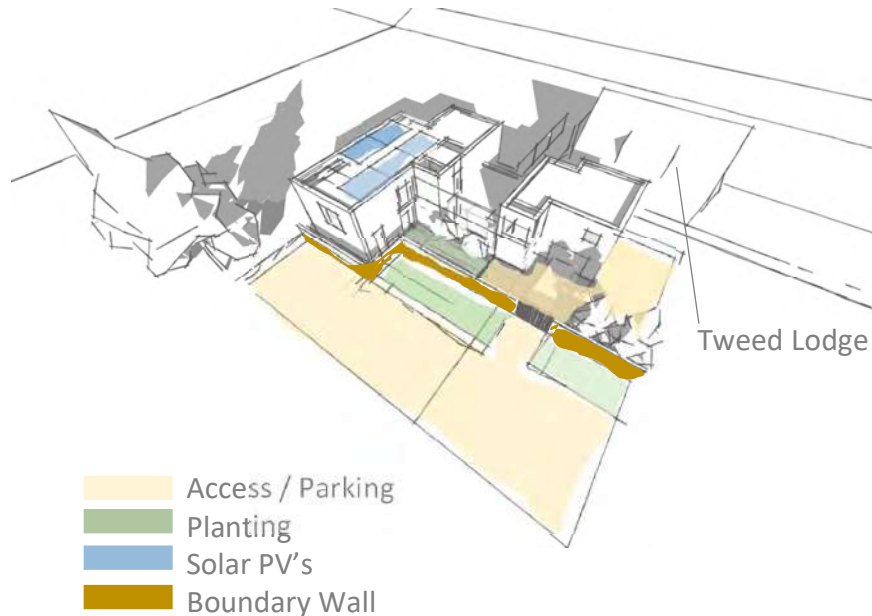
Existing characteristics and the surroundings areas has been reviewed carefully to help inform and progress the design principles by exploring the available development opportunities that will best satisfy the existing context and our client's design requirements.

This design solution is looking to add quality to the distinctive village of Gattonside. A well-designed structure reflecting the unique surroundings and architectural styles – the mixed house types within the village promotes individuality and adaptability and this proposal contemplates the requirements to accommodate family lifestyle changes whilst simultaneously contributing to a vibrant and visually appealing setting. A sustainable, distinct and diverse design solution – illustrated in section 5.

## 2.4 Planning Compliance – Other Key Issues

### AMENITY AND PRIVACY

Site layout and sections are provided in **Section 3**, showing positioning of the house, car parking/garaging, access and boundary treatment. As noted above, the proposal accords with requirements in relation to neighbouring amenity in accordance with Policy PMD5.



### ROAD SAFETY

Adequate access and servicing is provided as per Policy PMD5 with car parking provided in accordance with the Council's adopted standards as per Policy IS7. **Section 3** illustrates car parking/garaging and access.

### PROTECTED SPECIES

An Extended Phase 1 Habitat Survey was provided with the in principle application to satisfy Policy EP13 with no evidence of species recorded. Biodiversity enhancements noted in the previous consent can form a condition of any new approval, including bat and bird nesting boxes.

### CONTAMINATED LAND

A Phase 1 desk study was submitted with the previous in principle application. Appropriate intrusive site investigation and mitigation will be addressed as a planning condition with appropriate measures agreed with SBC in line with Policy IS13.

### WATER AND DRAINAGE

Foul water drainage is to be provided via septic tank. Surface water drainage is to be addressed via Soakaway.

### DEVELOPER CONTRIBUTIONS

Financial contributions to meet requirement of Policies IS2 and IS3 were secured via previous application by Section 69 legal agreement and paid in full. It is understood no further contributions will be required.

**Overall, it is considered that this submission demonstrates compliance with LDP policies to allow for a positive development of this residential plot.**



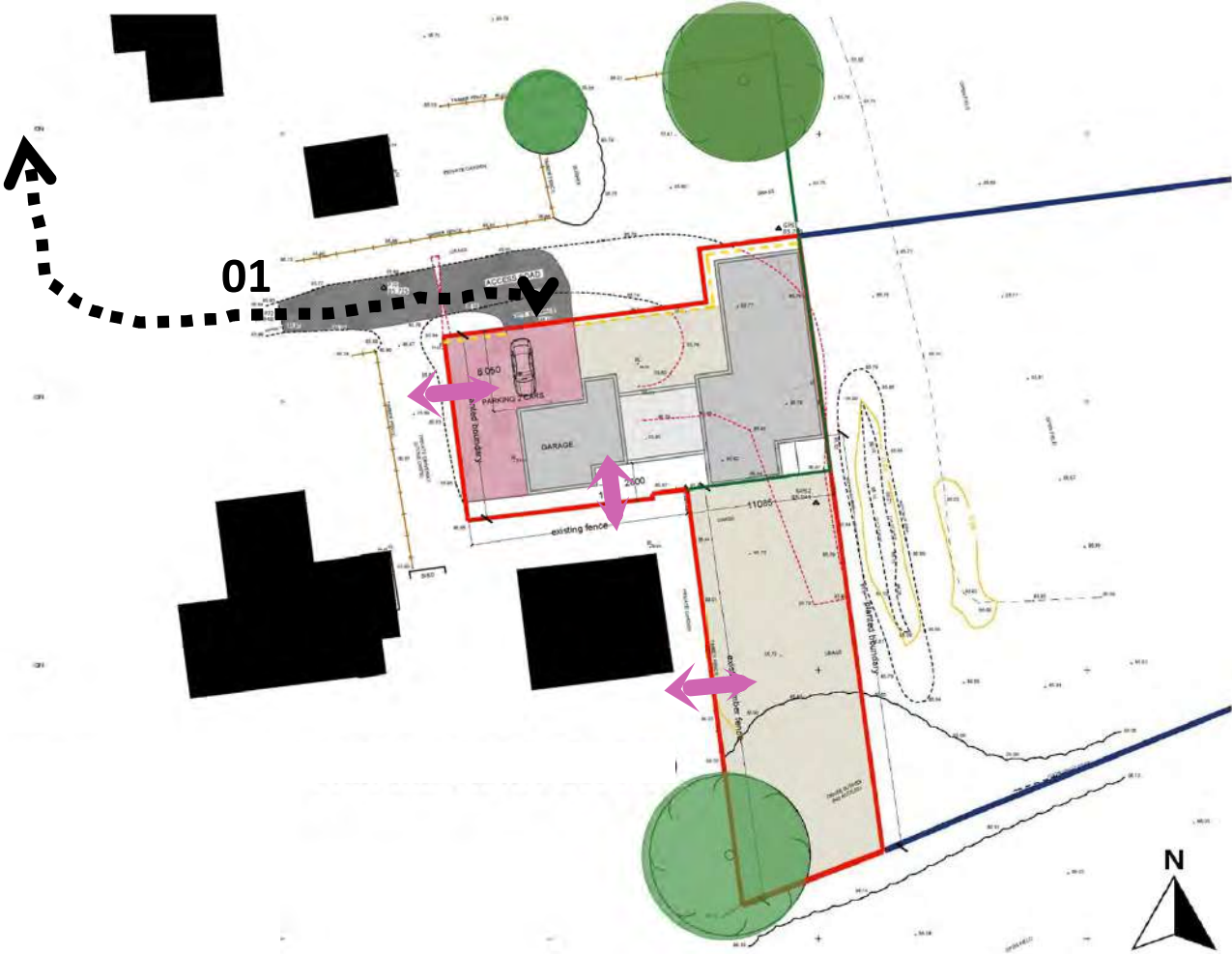
## 3.0 Site Details

AT

### 3.1 Site Details – Proposed Site Plan & Access

- Refer to Drawing No: AT3523 L(-1)101

**01** Access Road - private shared driveway off Hoebridge Road East - road to be formed in accordance with Council Roads Officer’s recommendation. Proposed wooden entrance gate, similar to neighboring property. Retain and upgrade existing wooden fencing



- ■ ■ Access via Hoebridge Road East
- ➔ Existing boundary fencing

	EXISTING PROPERTIES
	PROPOSED HOUSE - 2 LEVELS
	PROPOSED HOUSE - 1 LEVEL
	LAND OWNERSHIP
	SITE BOUNDARY
	APPROVED DEVELOPMENT BOUNDARY / ZONE
	1800MM HIGH PROPOSED GARDEN BOUNDARY WALL
	ACCESS ROAD
	PARKING AREA
	PROPOSED LANDSCAPING

0.2 5 10 20 50  
Scale 1:500

### 3.2 Site Details – Existing Site Access

Access to the proposed development site from the B6360 road through the village along Hoebridge Road East.

Site hidden behind existing line of mature trees  
(site more than 160 meters from main road - B6360)



Access to Plot from Hoebridge Road East

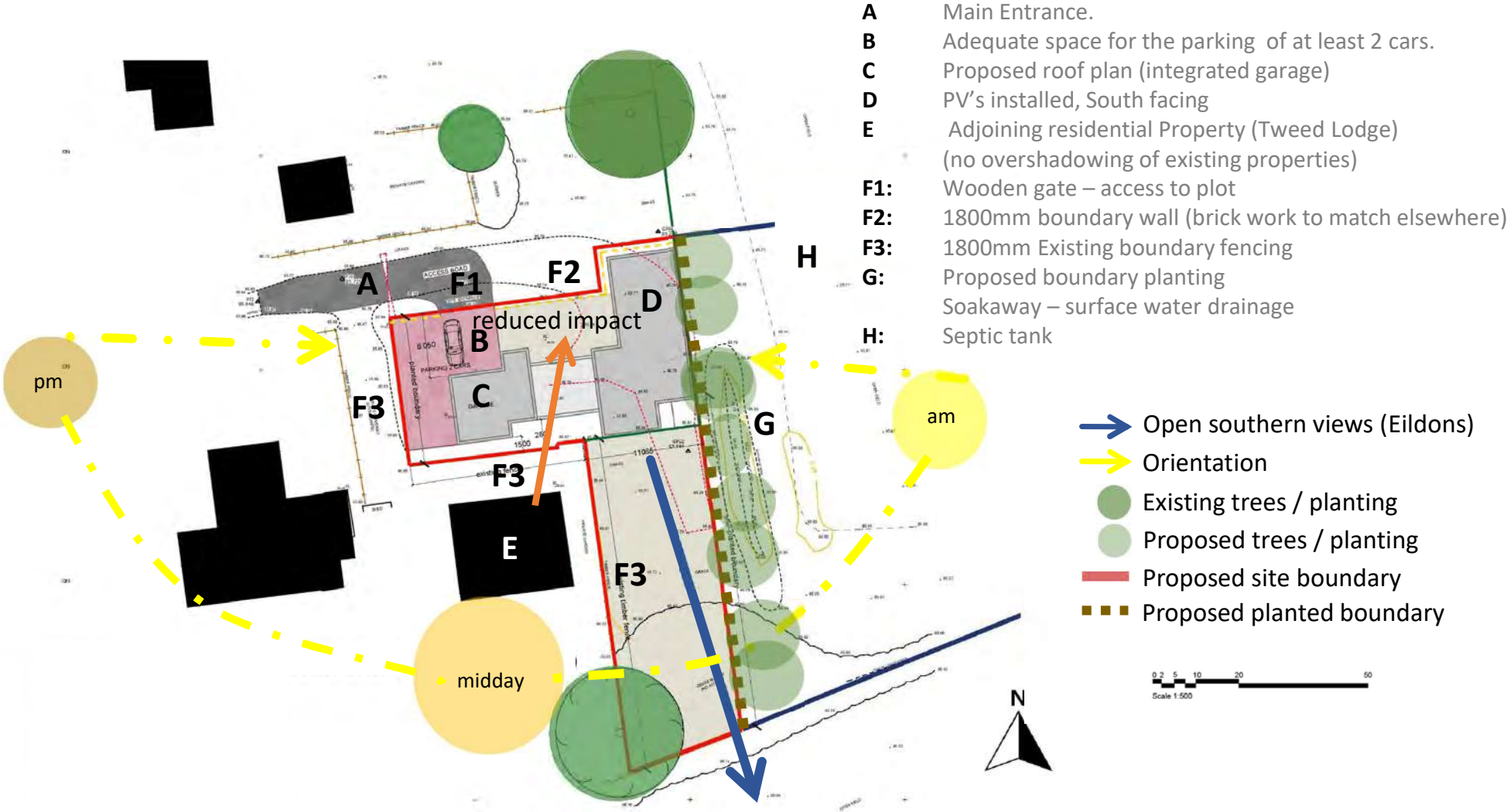


Access – Road Junction at B6360 / Hoebridge Road East

### 3.3 Site Details – Proposed Development Site

- Refer to Drawing No: AT3463 L(-1)101

Landscaping details: A detailed landscape plan shall be forwarded to the Planning Authority for approval prior to commencement on site. This will illustrate in further details proposed tree planting, grassed areas, boundary treatment, hard surfacing and any level changes.



- A** Main Entrance.
- B** Adequate space for the parking of at least 2 cars.
- C** Proposed roof plan (integrated garage)
- D** PV's installed, South facing
- E** Adjoining residential Property (Tweed Lodge) (no overshadowing of existing properties)
- F1:** Wooden gate – access to plot
- F2:** 1800mm boundary wall (brick work to match elsewhere)
- F3:** 1800mm Existing boundary fencing
- G:** Proposed boundary planting
- H:** Soakaway – surface water drainage  
Septic tank

- Open southern views (Eildons)
- Orientation
- Existing trees / planting
- Proposed trees / planting
- Proposed site boundary
- Proposed planted boundary





0 2 5 10 20 50  
Scale 1:500

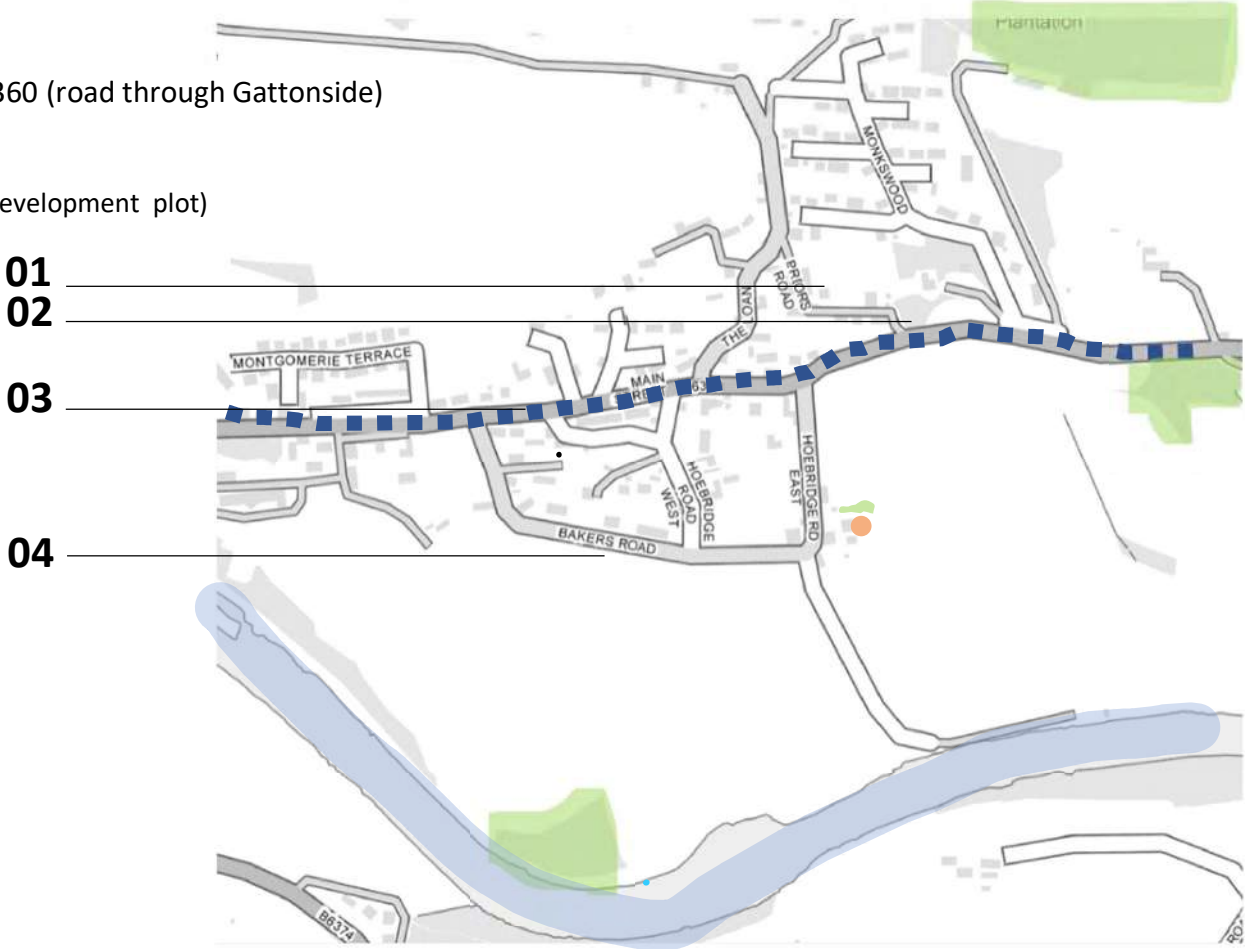


### 3.4 Site Details - Location & Local Context

The Development site is located on the eastern edge of the village, within the Conservation Area and National Scenic Area. The proposed low level residential building more than 150 meters from B6360 - a private and sheltered position. Existing planting opposite and proposed boundary planting will fully obscure public views of the family residence.

- 01** The Rigg (Peter Womersley)
- 02** Abbotsmeadow & properties visible along B6360 (road through Gattonside)
- 03** Orchard Park / Seasons Restaurant
- 04** Bakers Road / Hoebridge Road East (adjacent to development plot)

-  B6360 (road through Gattonside)
-  Development Site
-  River Tweed
-  Planting



Area Map, Gattonside

### 3.5 Site Details – Adjoining / Nearby Properties

The buildings in the area of Gattonside form part of a varied pattern of developments. Properties Located next to the proposed site are typical examples of mixed building styles and scale evident within the village.



01 Cedarwood Bank



04 Tweed Lodge



03 Ashtrees



02 Hoebridge Inn

# 4.0 Design Reference

## 4.1 Design Reference - Residential Character (The Rig)



The Rig (B listed)

Located in the heart of Gattonside - a fine example of a domestic house built by renowned Modernist architect Peter Womersley (1923-1993). The Rig survives largely in its original condition. In particular the interior is almost entirely as built.

**Womersley (1923-93) known as one of the best British architects of the 20th century, and until recently one of the most overlooked.**



## 4.2 Design Reference - Residential (Abbotsmeadow & SE of Abbotscroft)



Designed by Suhuha, grade C listed Georgian Villa with a new stone cubic volume connecting the new and old.  
**Saltire Commendation 2015**

Abbotsmeadow (C listed)

### House South East Of Abbotscroft – **minimal visual impact**

structure, materiality (glazing and colours) empathetic to it's setting (visible obscure)



House South East Of Abbotscroft

This development was designed by AT architects. The contemporary approach successfully promote a functional structure that offer minimal visual impact on the surrounding area. A selection of natural sustainable materials (dark colours) and large sections of glazing was utilised to reflect the surrounding landscape.

### 4.3 Design Reference - Residential Character (Properties along B6360)



Orchard Lane



Rose Cottage



Seasons Restaurant



Orchard Park (recent Planning approval)



Village Hall

The buildings in the area of Gattonside form part of a varied pattern of developments. In general, the existing architectural representation of buildings within the Conservation area reflects several different styles.

## 4.4 Design Reference - Residential Character (Properties along Bakers Road)



Western edge development. Flat roof construction, brick and dark cladding – views from public footpath leading to the village from the river Tweed.

Gattonside village is characterised by distinctiveness creating a positive and coherent identity that residents can identify with.

The mixed style and scale of developments, within the village, contribute to the sense of individuality - offering much flexibility and bespoke solutions to suit different needs.

A wide variety of building materials such as render, bricks, wood, local stone, slate and metal roofing along with divergent construction details adds character to the area.



## 4.5 Design Reference – Visual Impact



House next to Gattonside suspension bridge, opposite development site.  
Use of dark timber cladding

Given the location at the Eastern end of the Conservation Area, with low sensitivity in terms of potential impact on the character and appearance of the Conservation Area.

### Fleeting View - Low impact

Available view of the proposed development from Gattonside road B6360. Momentary / glimpsed view of the lowered site available for passengers traveling in vehicles along B6360. Limited pedestrian traffic.

- A North view. Existing boundary screening obscuring views of the proposed site. (arial distance 160+ metres) Site hidden behind existing line of mature trees to the North.
- B North East view. Existing view of Eastern edge development (arial distance 180+ metres)
- C North East view. Proposed view of Eastern edge development. Volume and materiality softens and reduces the edge of village visual impact. (arial distance 180+ metres).  
Furthermore, Proposed boundary planting offering complete future screening of the Eastern development line.



A



B



C

## 4.6 Design Reference - Principles

Design principles has been established by the contextual analysis set out in this documentation. Creating a visually appealing and functional design solution that make sense to the users.



Example 1. The addition of a fully glazed sections - allowing plenty of natural daylight to enter the property and its occupants can enjoy the surrounding views.

Cladding the house in black timber allows the structure to blend into its natural landscape.



### Volume and materiality

Example 2. Stained black cedar chosen for the facade of this contemporary home in order to connect it to its natural surroundings.

### Form follows function

This principle suggested that, rather than buildings being designed in accordance with past precedents or stylistic trends, the purpose and functionality of the building would determine its form.

Adopting building forms and composition, proportions, features, and colours that adds new character and difference. "form follows function," presents the ability of flat roofs to be more prudent than a 'aggressive' slope. offering structural simplicity, reduced impact and volume – supporting a neat design solution where renewables such as solar panels to be mounted hidden of sight.

### House South East Of Abbotscroft

A view from Gattonside suspension bridge  
(low impact – flat roof/dark cladding material)

B view from Melrose (low impact –



## 4.7 Design Reference - Precedent



**A**

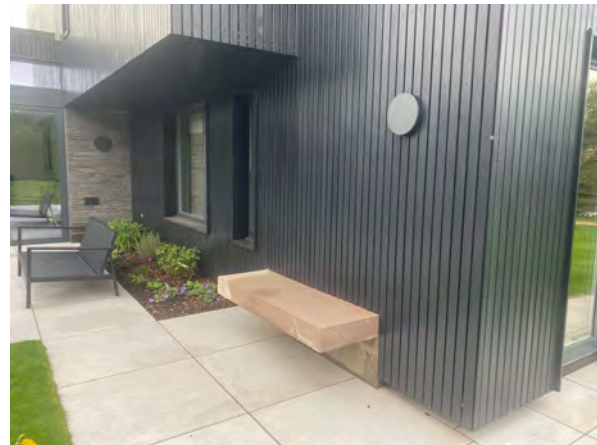


**B**

New Residential development in conservation area.  
Abbotsford Park, North Berwick, East Lothian, Scotland

A View of new development from A198 Dirlton Road  
(main access road to North Berwick).

B Zoomed view of the development.



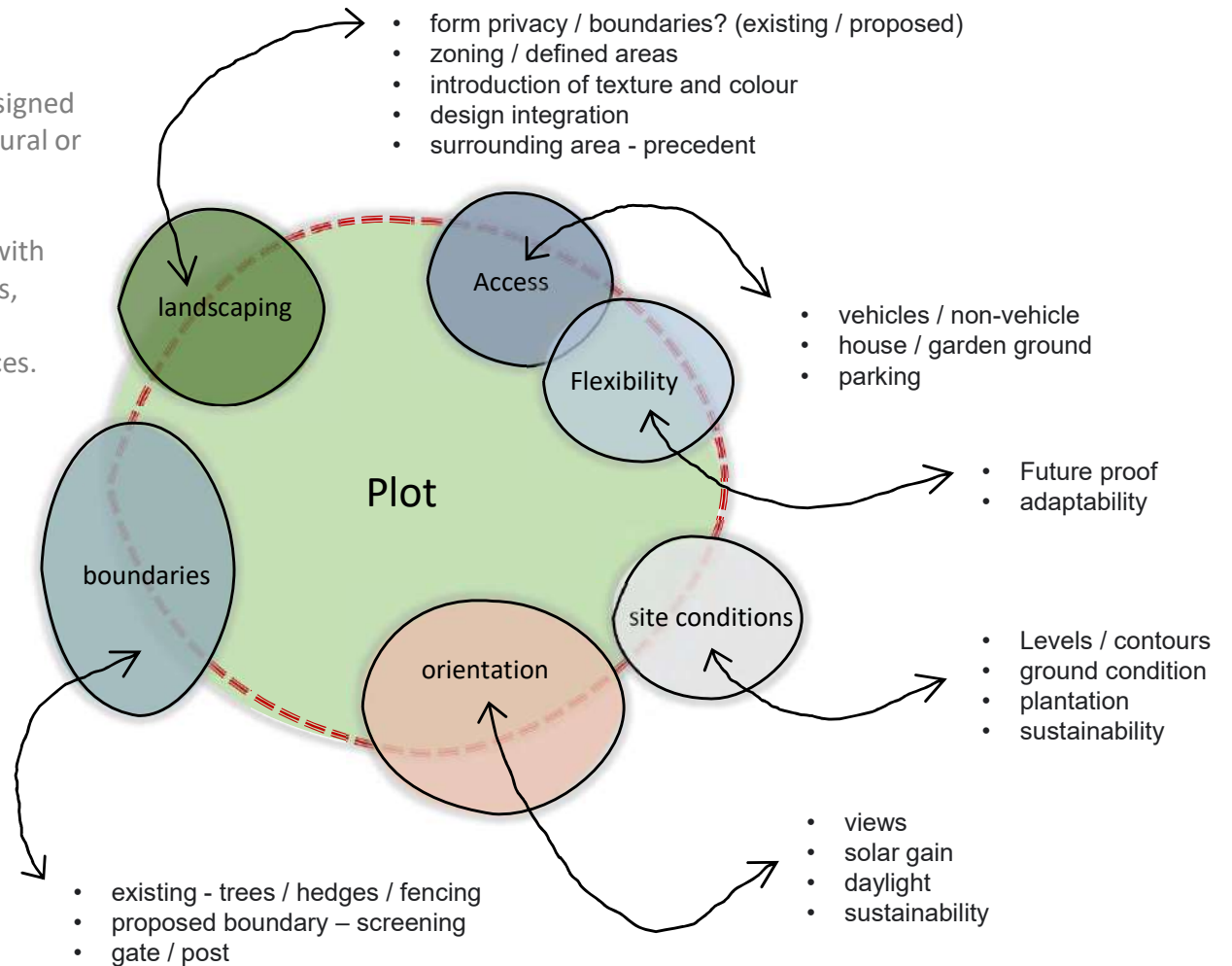
### Edge of Conservation Area Development

This new build family home clearly demonstrate the principles of adopting building forms, composition and colours that adds new character and difference can provide less impact and blend successfully in the streetscape . The cubic volume, flat roof construction and the chosen materials is less dominant - the black cladding allows the structure to harmonize well with the surrounding landscape.

## 4.8 Design Reference - Strategy

Policy EP9 states that the Council will support development proposals within or adjacent to Conservation Areas which are located and designed to preserve and enhance the special architectural or historic character and appearance of the Conservation Area.

Our design strategy is developed to coincide with this policy by respecting the scale, proportions, alignment, density, materials and boundary treatments of nearby buildings and open spaces.



### Bubble diagram

preliminary design process. Site analysis – to help translate the design into a strategy.

# 5.0 Concept Design

AT



## 5.1 Concept Design – Vision Northwest

Visual Concept – view from Northwest (entrance)



Boundary wall treatment - a feature often utilised in the village. Brick wall and black timber gate proposed to reflect adjacent property.

Formation of additional housing in the countryside that seek to complement the area by providing a modern design solution that fully respect the visual setting of the village. Appropriate balance and mix of new building designed to compliment the existing buildings within the village.

## 5.2 Concept Design – Vision Northwest Entrance

Visual Concept – View from Northwest (glazed entrance link)



Development with clear sense of place and take account of Planning Policy. The enhancement of good quality design is a priority for this development.

### 5.3 Concept Design – Vision West Access

Visual Concept – View from West (car parking)



Adequate access and servicing is provided as per Policy PMD5 with car parking provided in accordance with the Council's adopted standards as per Policy IS7

## 5.4 Concept Design – Vision West courtyard

Visual Concept – View from West (landscaped courtyard)



Provision of details and materials which compliment the context of the proposal.  
Landscaping to be integrated within the design.

## 5.5 Concept Design – Vision South Garden

Visual Concept – View from South (Private garden)



House South East Of Abbotscroft

Existing Road Level (B6360)

Proposed site & level



### Low impact

Low level siting. Properties along Gattonside road B6360 – existing elevated position.

Maximise passive solar gain through the design – achieved through position of the building, glazing and roof line.

## 5.5 Concept Design – Vision NorthEast

Visual Concept – View from Gattonside road



Public view of the proposed development from Gattonside road B6360. Momentary / view of the lowered site concealed with indicative planting – providing an opportunity to reinforce the boundary by consolidating the existing arrangement of buildings and agricultural land in a more formal manner with proposed planting tying in with the field boundary to the north.

## 5.6 Concept Design – Vision Southeast

Visual Concept – View from Southeast (garden / field)



Adopting building forms and composition that adds contemporary character – other such examples are represented elsewhere in the village. Illustrated in Section 4.

Glazed sections (south facing) - allowing plenty of natural daylight to enter the property whilst preserving privacy.

Dark timber cladding allows the structure to blend into the natural landscape – illustrated in section 4.

Proposed boundary tree planting provides sustainability and complete future screening of the development.

## 5.7 Concept Design – Vision East

Visual Concept – View from East (garden /boundary)



- Protect views from and to the surrounding country side.

The structural simplicity, reduced impact and volume – supporting a well ordered design solution where renewables such as solar panels can be mounted hidden of sight. Adaptable design arrangement embodied to ensure future proofing – to accommodate the occupants evolving requirements.



## 5.8 Concept Design – Vision Aerial

Visual Concept – View from above (North entrance)



- 1 Access / Gate
- 2 Parking
- 3 Entrance / Landscaped Courtyard
- 4 Boundary Wall
- 5 PV Panels
- 6 Proposed Planting
- 7 Tweed Lodge

Integration of sustainability using low-carbon energy technology that will benefit the buildings in year to come.

Provision of efficient and effective energy management solutions - this will be achieved via highly insulated construction, triple glazing, use of air source heat pump and PV panels.

## 5.9 Concept Design – Vision North

Visual Concept – North Elevation (entrance)

- 01 Garage / Office
- 02 Boundary wall
- 03 Indicative Tree Planting
- 04 Adjoining residential Property (Tweed Lodge)

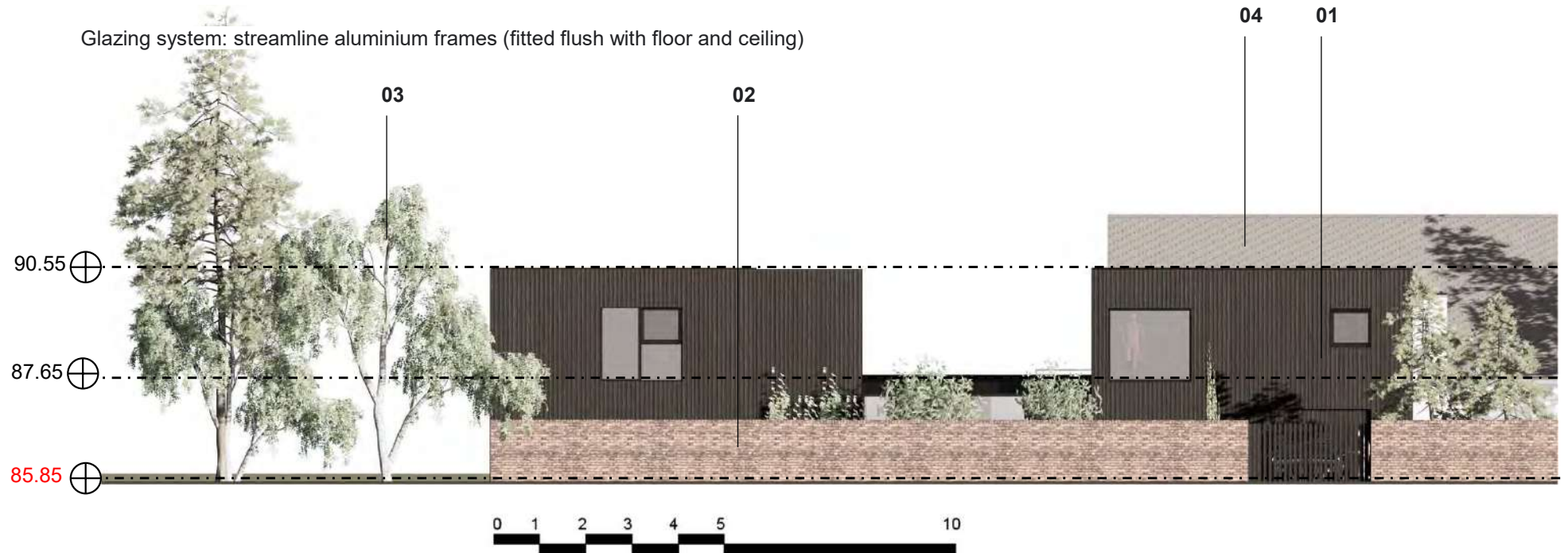


Natural timber cladding



Brick wall to match existing

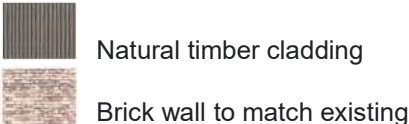
Glazing system: streamline aluminium frames (fitted flush with floor and ceiling)



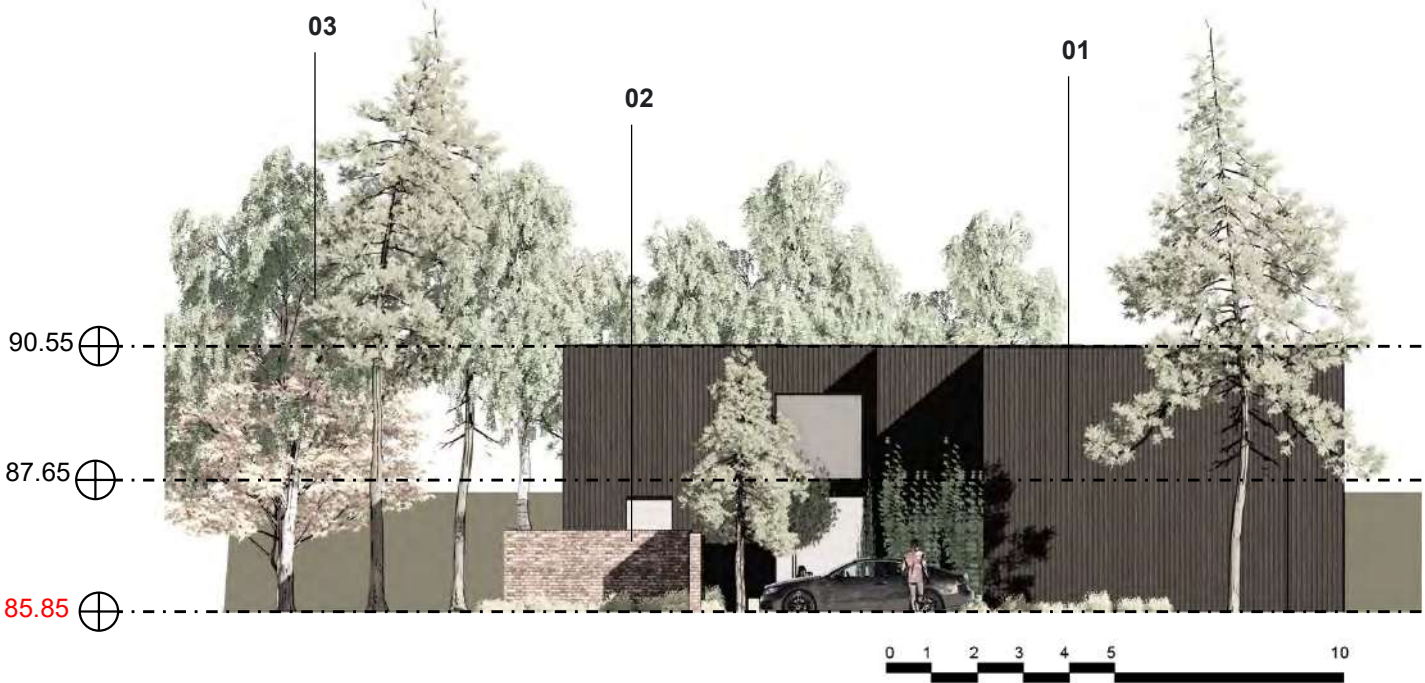
# 5.10 Concept Design – Vision West

Visual Concept – West Elevation

- 01 Garage / Office
- 02 Boundary wall
- 03 Indicative Tree Planting





Glazing system: streamline aluminium frames (fitted flush with floor and ceiling)



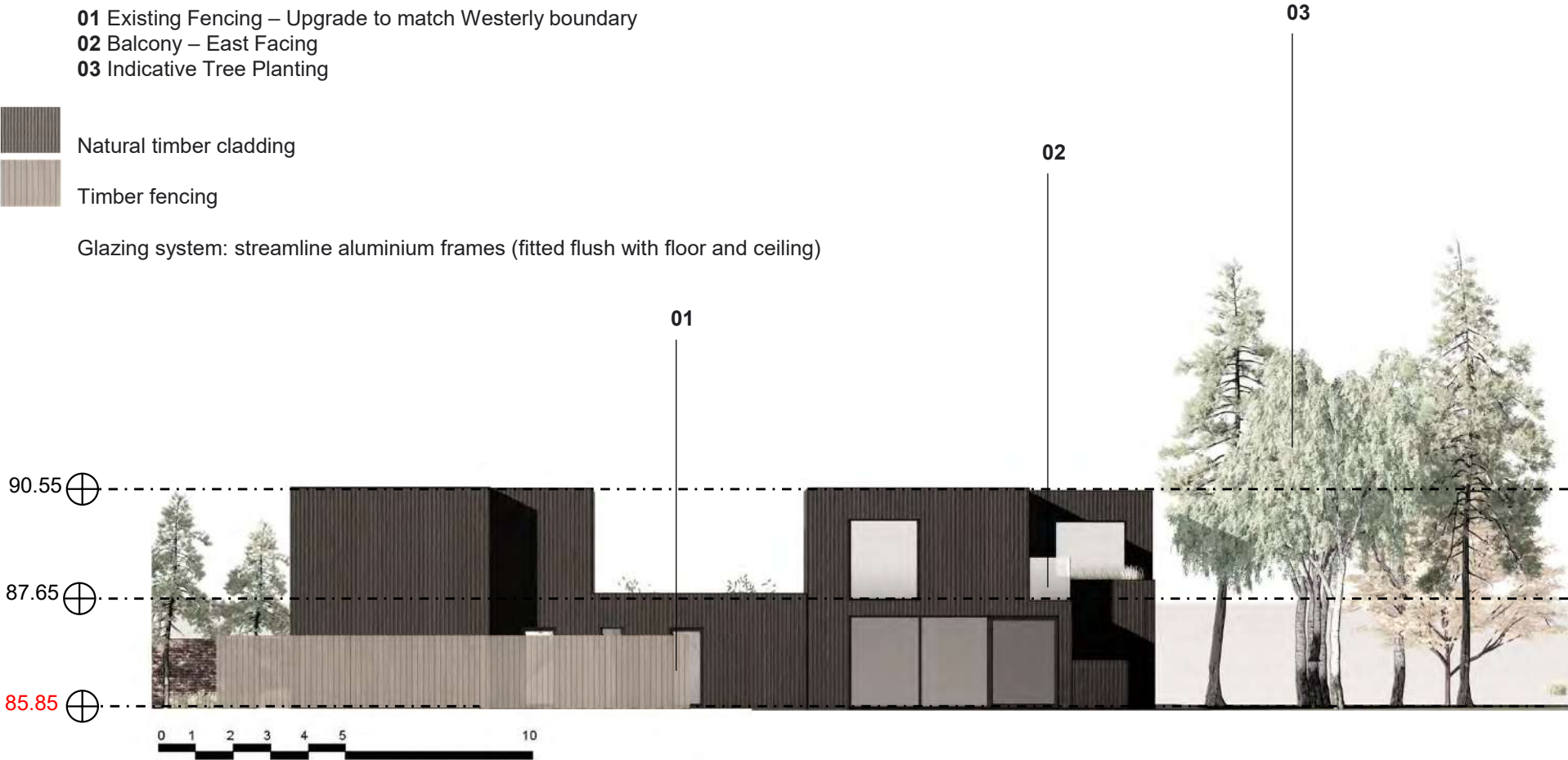
# 5.11 Concept Design – Vision South

Visual Concept – South Elevation

- 01 Existing Fencing – Upgrade to match Westerly boundary
- 02 Balcony – East Facing
- 03 Indicative Tree Planting

 Natural timber cladding  
 Timber fencing

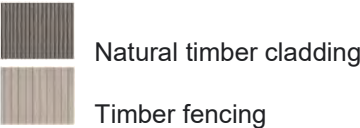
Glazing system: streamline aluminium frames (fitted flush with floor and ceiling)



# 5.12 Concept Design – Vision East

Visual Concept – East Elevation

- 01 Existing Fencing – Upgrade to match Westerly boundary
- 02 Balcony – East Facing
- 03 Indicative Tree Planting
- 04 Adjoining residential Property (Tweed Lodge)



Glazing system: streamline aluminium frames (fitted flush with floor and ceiling)



## 5.13 Concept Design – Section A-A

Visual Concept – Section A-A

- 01 GF Kitchen & dining Area
- 02 FF Bedrooms
- 03 GF link (single storey / low impact)
- 04 GF Garage & FF Office
- 05 Adjoining residential Property (Tweed Lodge)

Glazing system: streamline aluminium frames (fitted flush with floor and ceiling)



## 5.14 Concept Design – Section B-B

Visual Concept – Section B-B

- 01** Boundary wall to match adjacent
- 02** landscaped courtyard
- 03** GF link (single storey / low impact)

Glazing system: streamline aluminium frames (fitted flush with floor and ceiling)

